

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: July 7, 2005

ITEM No. _____

CASE NUMBER/ PROJECT NAME	45-DR-2005 Scottsdale Riverwalk Square		
LOCATION	4601 N Scottsdale Road		
REQUEST	Request approval for a site plan, elevations, and landscape plan for Phase I of the Scottsdale Riverwalk Square project.		
OWNER	Riverwalk Square Development LLC 480-993-0560	ENGINEER	Quantum Consulting Engineers 206-987-3900
ARCHITECT/ DESIGNER	The Miller/Hull Partnership LLP	APPLICANT/ COORDINATOR	Chris Camberlango Riverwalk Square Development LLC 480-993-0560
BACKGROUND	<p>Zoning.</p> <p>The zoning for this site is D/RCO-2 DO PBD (Downtown; Regional Commercial Office, Type II; Planned Block Development, Downtown Overlay). This zoning category contemplates regional scale commercial office and/or residential land uses, with urban scale and form. At the time of the original zoning, the adjacent parcel of land to the west, was zoned and site planned for a commercial component to the project; with the subject parcel being zoned for a minimum of 215 residential housing units.</p> <p>Context.</p> <p>The site is located northeast of the intersection of Camelback and Scottsdale Roads. Generally, the subject site is located to the east of the Fashion Square signal alignment, north and east of the existing Bombay Company/Coffee Bean building & closed gas station.</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none">• North: Existing office buildings in the C-2 zone.• South: Existing commercial land uses in a C-3 (DO) zone (Bombay Company & Coffee Bean building)• East: SRP Canal; Existing residential buildings in the R-5 (DO) zone.• West: Vacant parcel site planned for a commercial land use in the D/RCO-2 DO PBD zone, and Fashion Square Mall; also in the D/RCO-2 DO PBD zone.		

APPLICANT'S
PROPOSAL**Applicant's Request.**

The applicant is proposing to build 227 condominium units, in 2 phases, on the subject site. The request before the Board at this time is for 93 units, in 6 buildings. Phase I includes all buildings fronting the canal, and the northeasterly buildings from the internal drive to the canal. Phase II will include the remaining buildings, all of which are located on the northwesterly portion of the parcel, to the northwest of the internal drive; and will be subject to future DRB approval.

Development Information:

- Existing Use: Vacant parcel; formerly the old Safari Hotel.
- Proposed Use: Multi-family residential
- Parcel Size: Current Development Phase is +/- 3.3 acres (4.86 acres total)
- Building Size: Phase I has 6 buildings, totaling 194,039 square feet; Total square footage will be approximately 338,000 square feet.
- Building Height Allowed/Proposed: 65 feet/varying of building heights, 2 of which are proposed at 65 feet.
- Phase 1 Parking Required/Provided: 113 / 150 Garage + 12 at surface level. The overall project requirement / provided = 235 / 320 are provided (below grade) + 27 additional spaces above grade.
- Open Space Required/Provided: None / 92,154 square feet (Phase 1)
- FAR: 1.6 (0.8 Base; 0.3 bonus – underground parking; 0.1 bonus Planned Block Development (PBD); 0.4 bonus – Residential)
- Number of Units: 93 (Phase 1) + 2 commercial units, and 1 business center for the residents.
- Density: 44 du/acre

DISCUSSION

Architectural Style & Colors

The design takes a large development program and breaks it into manageable, human-scaled pieces, providing the feeling of an urban neighborhood, with a great deal of variety of scale and details. Throughout the development landscaping and water features are provided. The parking garage has been designed to provide for deep planting beds, allowing for substantial planting at the plaza level. The intent would be to completely hide the fact that there is a below-grade parking structure throughout.

The overall design concept includes “passive” solar strategies, including the use of thermal mass and deep overhangs. “Active” strategies including the use of evaporative cool towers that capitalize on the natural cooling effect of evaporating water with warm desert winds to provide cool air to outdoor gathering spaces.

Designing for the desert climate, the applicant has provided insulated concrete block walls to protect the interior environments from the heat by wrapping each unit with a thermal mass “jacket.” The thermal mass absorbs the heat of the day and slowly releases it during the cool nighttime. These block walls create deep pockets to protect glazing and retractable walls from direct sun. Additionally,

separate materials have been selected that provide built-in protection against the elements, reducing maintenance costs while giving the project a rustic feel that is in-line with the desert context. Weathered steel guardrails, trellises and siding, exposed burnished concrete block and integral-colored stucco all provide a warm fine-grain finish.

The applicant has expressed interest in participating in the City of Scottsdale Green Building Program. The project goals appear to be a good match with the checklist of requirements to attain an “Advanced” rating, and the applicant has expressed a desire to participate. Several “green building” strategies have been incorporated into the design to lessen the impact on the environment and reduce operating and maintenance costs of the buildings.

At two locations in Phase 1, development towers provide several functions, including primary access from the garage to grade, vehicle emissions exhaust from the garage and an evaporative cooling tower to provide cool air to primary exterior gathering spaces. The cooling tower technology is simple, based on towers throughout middle-eastern desert regions, and proven more recently in projects such as the Visitor Center at Zion National Park. The strategic placement will not only provide the multiple functions mentioned but will act as wayfinding features and a point of interest for the greater community.

Canal Improvements

Pursuant to the study session staff review, the canal improvements will not be approved as a part of this request, and will come back to the Board at a future meeting. The applicant is required to construct canal improvements prior to the first certificate of occupancy for the project. The applicant has provided staff with draft plans which incorporate the following elements for the canal plan:

- Two separate pathways, one with hard surface; and one with dirt or some other softer material;
- Benches, and other appurtenant features to help establish the canals entry points into the Riverwalk project;
- Programmed areas to feature local artist’s work; primarily sculpture or other similar form;
- Uplighting to feature the art work, and downlighting at the appropriate locations for the path and to emphasize the programmed areas/pathways; and
- A myriad of landscaped areas, in both active and passive locations; attempting to program certain portions of the canal; and others to be passive and serene.

Pursuant to discussion at the study session the applicant is requesting two actions from the DRB:

1. Conceptual approval of the canal plan.
2. Input on landscape and hardscape treatments which will help achieve the desired results for the canal area.

Project Amenities, Open Space & Connection Points

The buildings in Phase 1 will include ground level space in Buildings C, G and H which can be used for retail/dining establishments; generally contemplated to be a small market or other ancillary use for the residential project, or possibly a coffee house etc. In addition, a passage courtyard links the canal walk to two retail locations and the center of the project. A business center will be provided for the residents of the live/work lofts to use for meetings as well as for use by all residents for special events. Further, multiple pools and private open space will be provided within the project for residents in pleasingly designed areas, in addition to the public open areas.

Access to the canal from the project is proposed in two locations, the primary being through the middle of the project at buildings G & H, secondary access being along the southwesterly property line, adjacent to the drive-aisle. The applicant, pursuant to the canal design (See study session), has proposed this project to be an open, public, and urban experience.

**OTHER BOARDS AND
COMMISSIONS**

The City Council, on May 28, 2005, approved the site plan, subject to stipulations, on a 6-0 vote (Drake abstained). The site plan review, while normally a Development Review Board function, was required pursuant to a stipulation on the previous zoning case, and the Council was the reviewing authority on site plan issues on this case. The Council prepared a list of items for the Development Review Board to consider as part of the approved stipulations (Provided as Attachment 7).

The Development Review Board provided input on this project at a study session on May 5, 2005.

**STAFF
RECOMMENDATION**

Staff recommends approval, subject to the attached stipulations.

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APPROVED BY

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Report Author

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Development Planning Manager
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ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
7. City Council approved Stipulations (Site Plan Review)
 - A. Fire Ordinance Requirements
 - B. Stipulations/Zoning Ordinance Requirements

Project Description

Riverwalk Square as currently envisioned will consist of approximately 215 condominium units and amenities totaling approximately 338,000 gross square feet of building area, and 431 parking spaces in a below-grade structure, built in two phases. Other improvements will include several amenity structures including three swimming pools and various opportunities for bar/dining establishments. Abundant landscaping will be provided throughout the development, including many large trees and other significant planting areas made possible by blockouts in the parking garage below.

The overall program intent is to create a new vibrant live/work neighborhood in downtown Scottsdale. By designing highly flexible ground floor units, it is hoped that there will be a mix of small retail/commercial space among the residential units.

Phase 1 Description

The design of Phase 1 will set the tone for the future phases with high-quality design. Phase 1 will consist of 100 condominium units, ranging from 800sf to 2300sf, each with ample outdoor living space. The units are divided up among six primary buildings, each either four or five stories in height. All vehicular circulation is concentrated along a two-way access drive with main street type parallel parking on each side and entered from the north edge of the site culminating at the heart of the site in a circular court shared by automobiles and pedestrians and exits at the west edge. A two-way road along the north edge of the site will provide access to the Phase 1 underground parking garage. Two residential swimming pools and associated gardens are included in Phase 1.

Trash chutes have been provided on each floor of each vertical circulation core to convey residents' trash to the parking garage level where compactors are located. Compacted trash will be moved via maintenance tractors to mechanically conditioned enclosures at Plaza level on scheduled trash pickup days for access by city trash trucks. Recycling bins have been located in each trash chute room to be collected by maintenance and moved to large recycling tubs at the garage level.

Design Intent

The utmost responsibility of the design team has been to respond to the desert climate with appropriate form, details and orientation. We have also strived to provide outdoor living opportunities for each and every homeowner as well as for the development as a whole. The design concept includes "passive" solar strategies, including the use of thermal mass and deep overhangs. "Active" strategies including the use of photovoltaic panels for producing electricity or hot water are also being considered at this phase, and should be defined before completing design development.

The design takes a large program and breaks it into manageable, human-scaled pieces, providing the feeling of an urban neighborhood, with a great deal of variety of scale and details. Throughout the development abundant landscaping and water features are provided. The parking garage lid has been designed to provide for deep planting beds, allowing for substantial planting at plaza level. The intent is to completely hide the fact that there is a below-grade parking structure throughout.

Finally, the overall architectural expression is derived from a response to the desert climate. Insulated concrete block walls protect the interior environments from the heat by wrapping each unit with a thermal mass "jacket." The thermal mass absorbs the heat of the day and slowly releases it during the cool nighttime. These block walls create deep pockets to protect glazing and retractable walls from direct sun, affording each resident the indoor/outdoor lifestyle that defines the Southwest. Materials have been selected that provide built-in protection against the elements, reducing maintenance costs while giving the project a rustic feel that is in-line with the desert context. Weathered steel guardrails, trellises and siding, exposed burnished concrete block and integral-colored stucco all provide a warm fine-grain finish without the need for high-maintenance coatings.

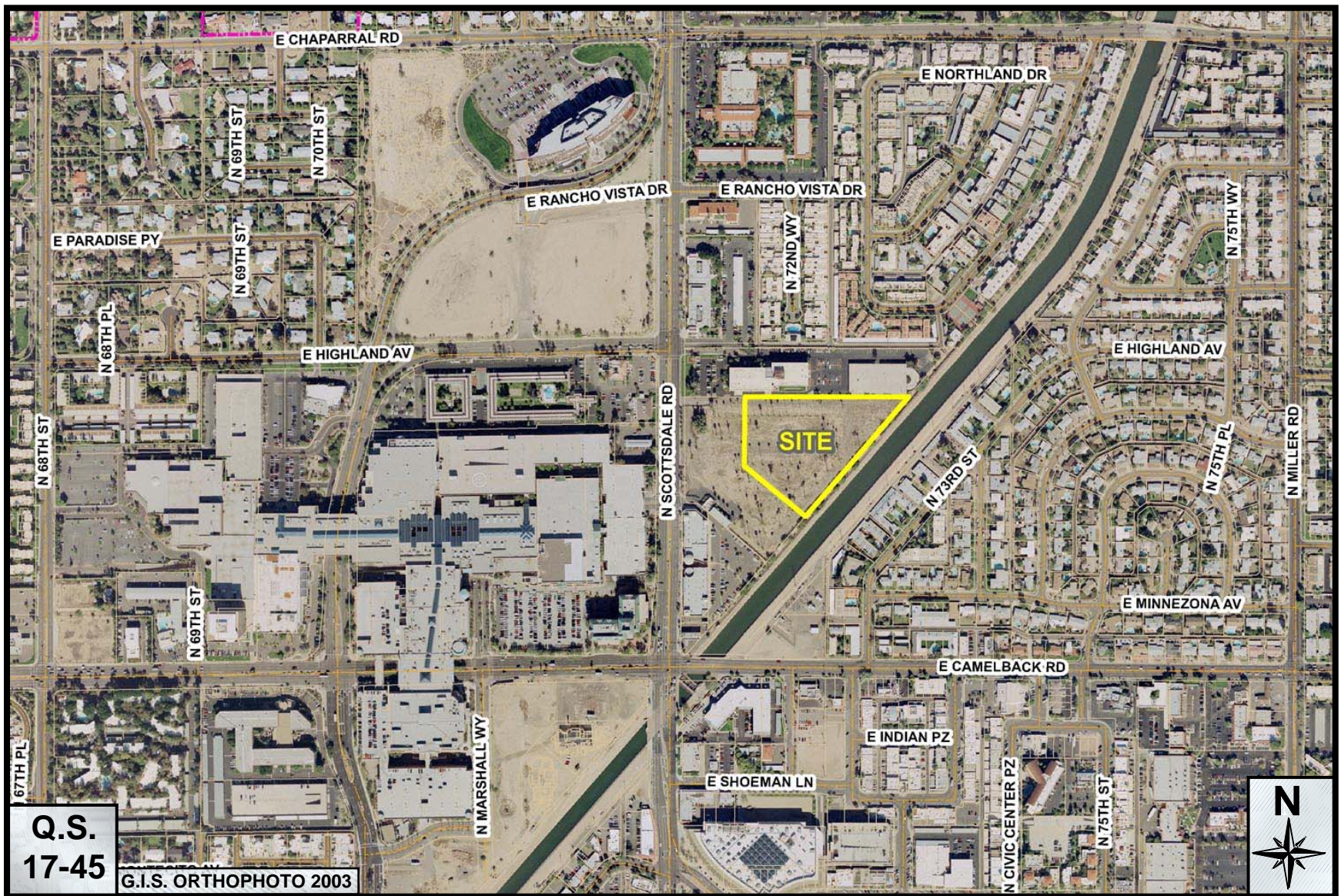
Special Project Features

Participation in the City of Scottsdale Green Building Program is being considered at this phase. The project goals are a good match with the checklist of requirements to attain an "Advanced" rating.

Several “green building” strategies have been incorporated into the design to lessen the impact on the environment and reduce operating and maintenance costs of the buildings.

At two locations in Phase 1 development towers provide several functions, including primary access from the garage to grade, vehicle emissions exhaust from the garage and as an evaporative cooling tower to provide cool air to primary exterior gathering spaces. The cooling tower technology is simple, based on towers throughout middle-eastern desert regions, and proven more recently in projects such as the Visitor Center at Zion National Park. The strategic placement will not only provide the multiple functions mentioned but will act as wayfinding features and a point of interest for the greater community.

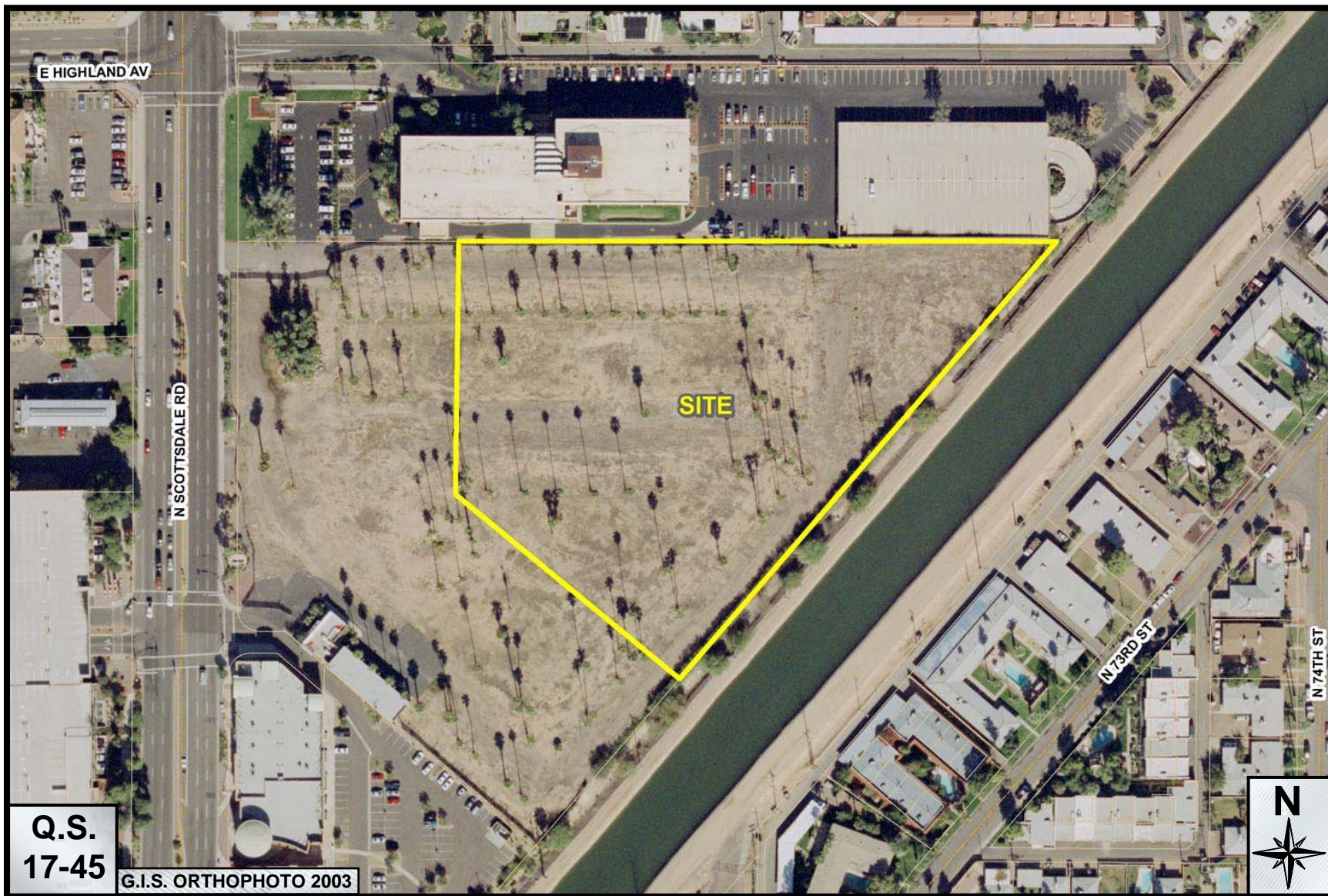
“Amenities” buildings in Phase 1 include ground level space in Buildings C, G and H which can be used for retail/dining establishments. In addition, a passage courtyard links the canal walk two retail locations and the center of the project. A business center will be provided for the residents of the live/work lofts to use for meetings as well as for use by all residents for special events.



Scottsdale Riverwalk Square

45-DR-2005

ATTACHMENT #2



Scottsdale Riverwalk Square

45-DR-2005

ATTACHMENT #2A

45-DF
6/28

45-DR-2005
6/28/2005



CANAL ELEVATION

RIVERWALK SQUARE

MAY 25 2005

45-DR-2005

6/28/2005



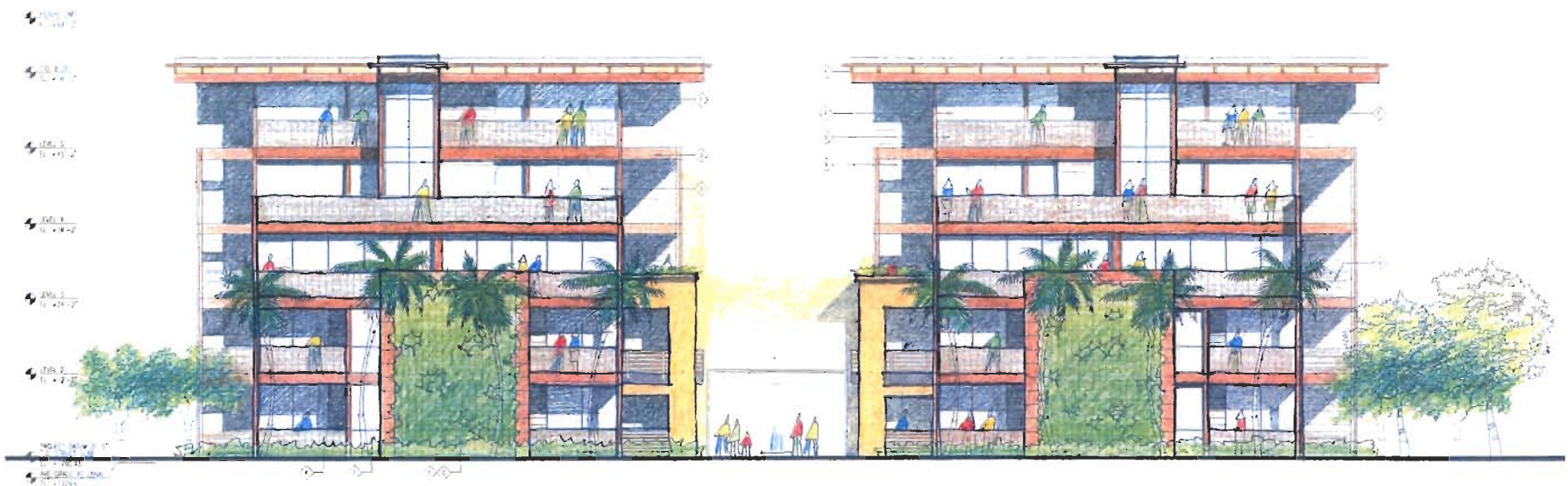
BUILDING C: EAST ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

45-DR-2005
6/28/2005

RIVERWALK SQUARE

MAY 17, 2005



BUILDING G: SOUTHEAST ELEV.

0 4 8 12 16 20
SCALE 1/16"=1'-0"

45-DR-2005
6/28/2005

RIVERWALK SQUARE

MAY 25, 2005



BUILDING G: NORTHWEST ELEV.

0 4 8 12 16 20
SCALE 1/16"=1'-0"

45-DR-2005
6/28/2005

RIVERWALK SQUARE

MAY 25, 2005



BUILDING G: NORTHEAST ELEV.

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE

MAY 25, 2005

45-DR-2005
6/28/2005



BUILDING F: SOUTH ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005



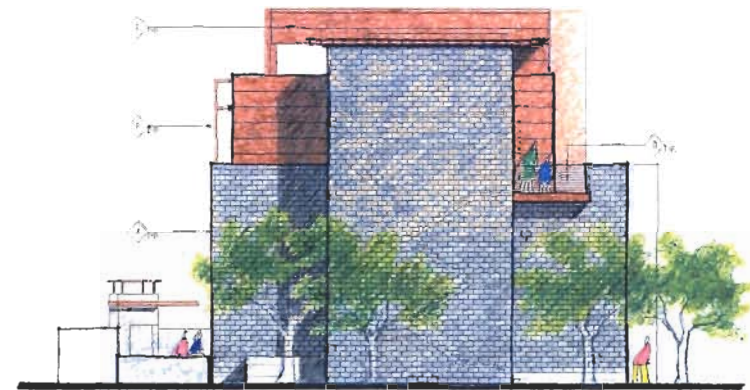
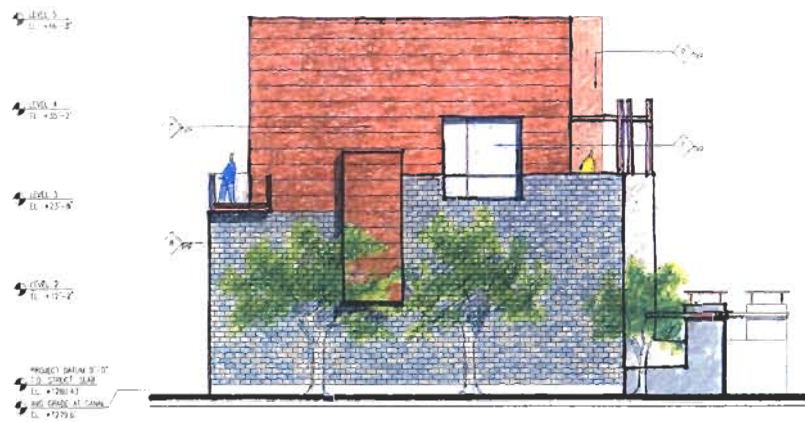
BUILDING F: NORTH ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005



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SCALE 1/16"=1'-0"

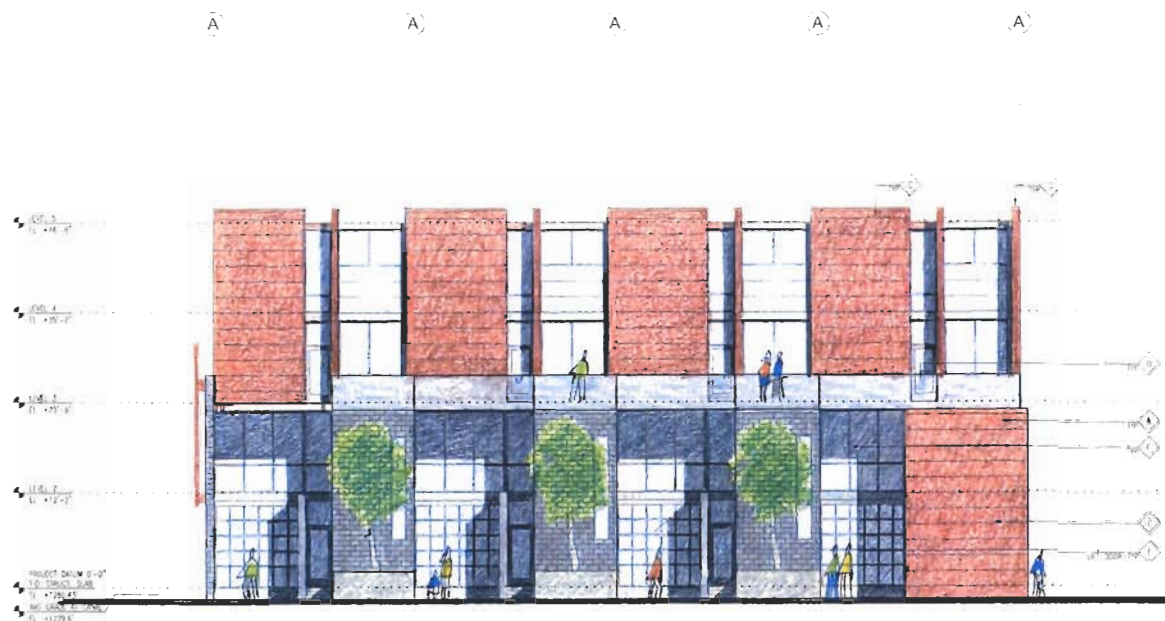
BUILDING F: EAST & WEST ELEV.

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005

MILLER HULL



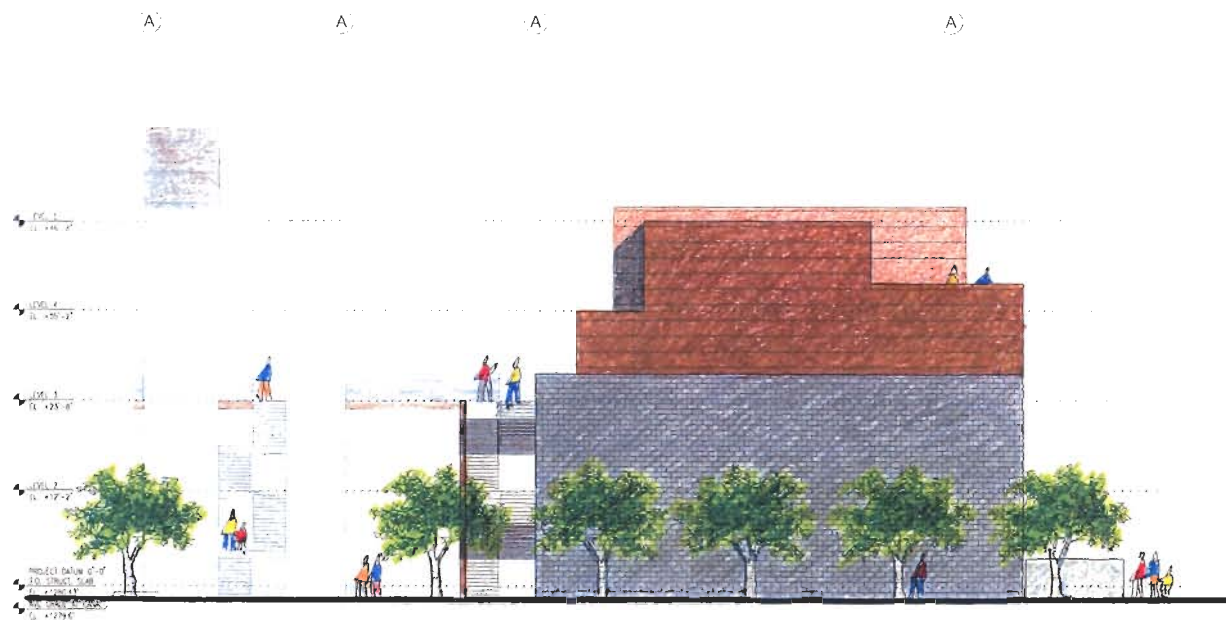
BUILDING E: WEST ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005



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SCALE 1/16"=1'-0"

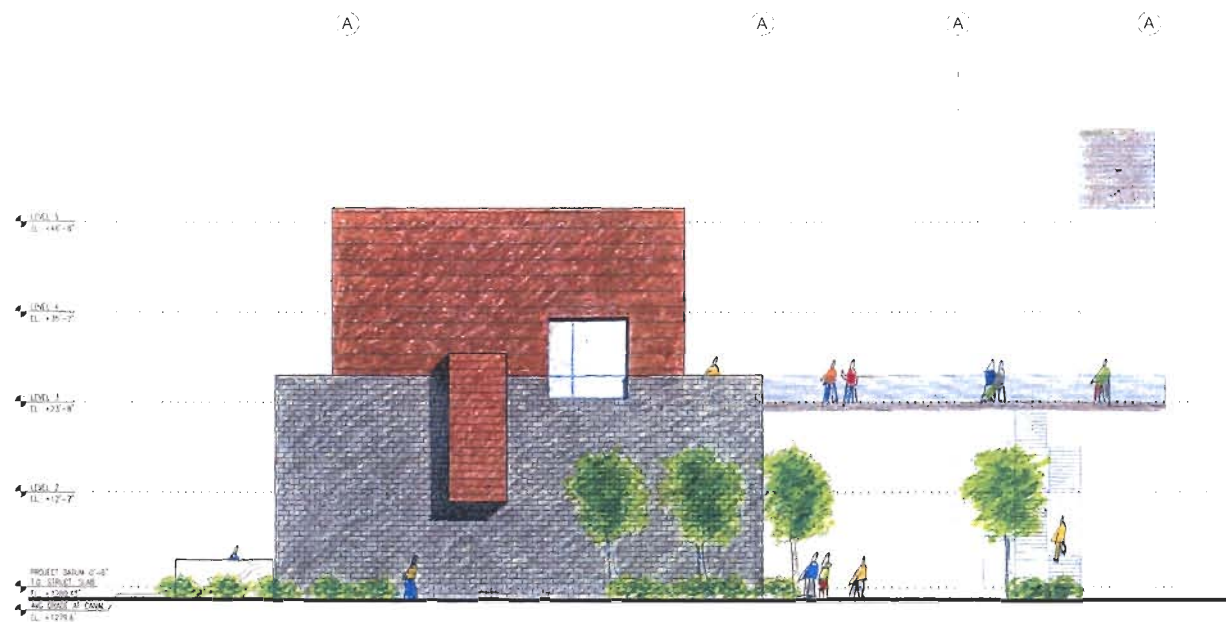
BUILDING E: SOUTH ELEVATION

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005





BUILDING E: NORTH ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005



STREET ELEVATION : WEST

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005





BUILDING C & D: NORTH ELEVATION

RIVERWALK SQUARE
JUNE 27, 2005

45-DR-2005
6/28/2005



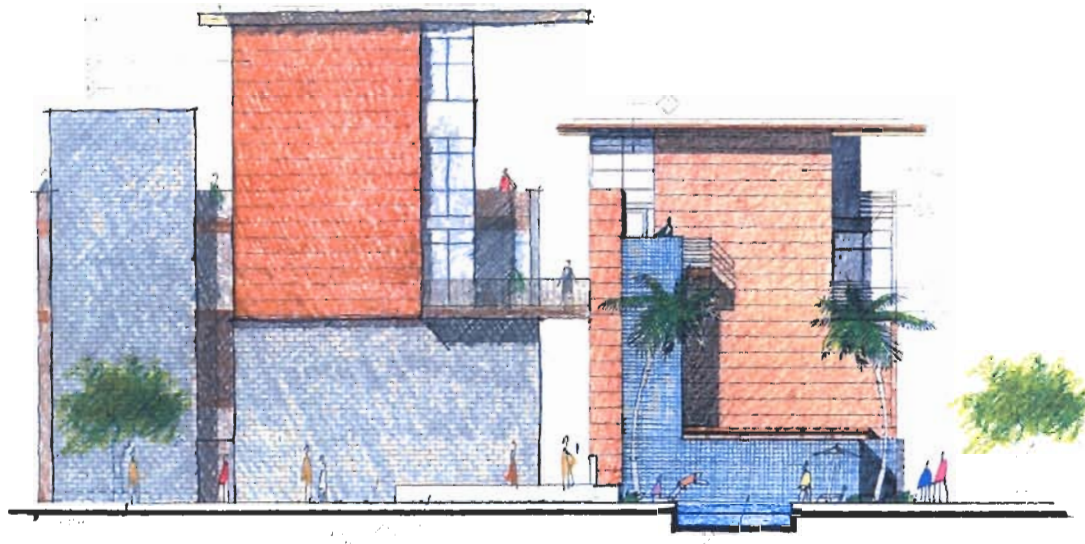
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SCALE 1/16"=1'-0"

BUILDING E: EAST ELEVATION

RIVERWALK SQUARE
MAY 17, 2005

45-DR-2005
6/28/2005

MILLER HULL



0 4 8 12 16 20
SCALE 1/16"=1'-0"

BUILDING D: WEST ELEVATION

RIVERWALK SQUARE
JUNE 27, 2005

45-DR-2005
6/28/2005

MILLER HULL



BUILDING D: SOUTH ELEVATION

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SCALE 1/16"=1'-0"

RIVERWALK SQUARE
JUNE 27, 2005

45-DR-2005
6/28/2005

MILLER HULL



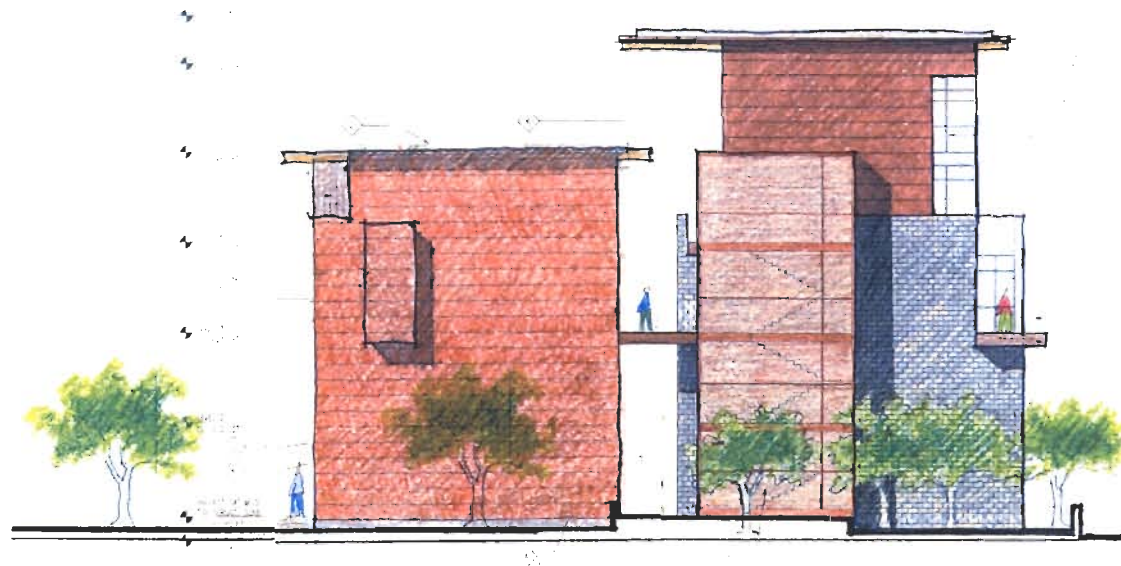
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RIVERWALK SQUARE
 JUNE 27, 2005

45-DR-2005
 6/28/2005





BUILDING D: EAST ELEVATION

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SCALE 1/16"=1'-0"

RIVERWALK SQUARE
JUNE 27, 2005

45-DR-2005
6/28/2005

MILLER HULL



BUILDING C: WEST ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005

MILLER HULL



0 4 8 12 16 20
SCALE 1/16"=1'-0"

BUILDING C: SOUTH ELEVATION

RIVERWALK SQUARE

MAY 17, 2005

45-DR-2005
6/28/2005

MILLER HULL



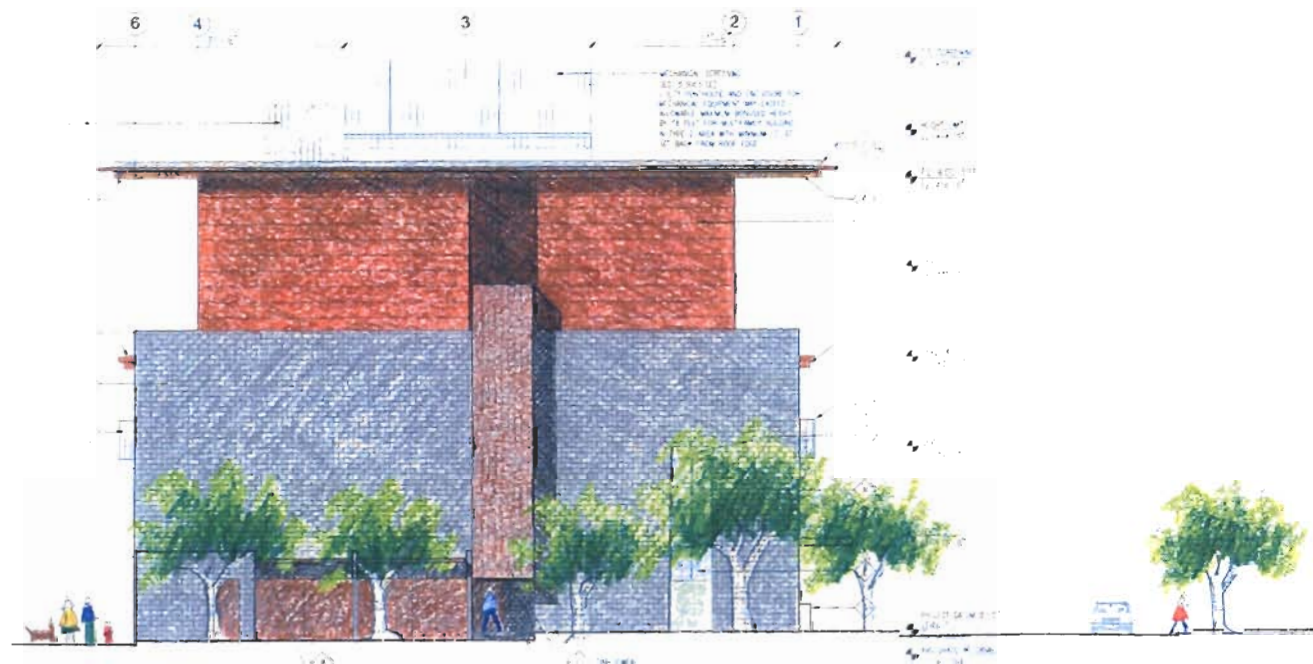
BUILDING G: SOUTHWEST ELEV.

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE
MAY 25, 2005

45-DR-2005
6/28/2005

MILLER HULL



BUILDING C: NORTH ELEVATION

0 4 8 12 16 20
SCALE 1/16"=1'-0"

RIVERWALK SQUARE
JUNE 27, 2005

45-DR-2005
6/28/2005

MILLER HULL

Scottsdale Riverwalk Square
4601 N. Scottsdale Road
Scottsdale, AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|---|--|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p style="margin-left: 20px;"><u>AS SHOWN</u></p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> A. KNOX BOX <input type="checkbox"/> B. PADLOCK <input type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES. <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input checked="" type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS <u>B</u> FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 <small>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</small></p> <p><input checked="" type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. <u>INTERIOR & EXTERIOR HOSE VALES</u></p> <p>_____</p> <p><input checked="" type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF <u>2500</u> AT <u>20</u> GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC.
 A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x <u>4</u> (NSHT)</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE. <input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS. <p><input checked="" type="checkbox"/> 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.</p> |
|---|--|

- ☒ 20. **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ A. **MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ B. **MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ C. **NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: Lt & Ord Gp. 2 SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.**
- ☐ D. **THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:**
- ☐ E. **SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.**
- ☐ F. **THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**
- ☐ G.
- ☒ 21. **ALL DRIVES AND PARKING AREAS OVER UNDERGROUND PARKING SHALL HAVE MIN. LOAD DESIGN OF 83,000 LBS. G.V.W.**
- ☐ 22.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Scottsdale Riverwalk Square Case 45-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Miller Hall Architecture and Planning with a date provided on the plans by City of Scottsdale staff of 6/28/05.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Miller Hall Architecture and Planning with a date provided on the plans by City of Scottsdale staff of 6/28/05.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Floor and Associates with a date provided on the plans by City of Scottsdale staff of 6/28/05.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).
10. Phase Two shall return to the Development Review Board for approval.

Ordinance

- A. The minimum garage clearance at each vehicular access shall be at least 98-inches.
- B. The building design shall comply with the Downtown district of the Zoning Ordinance, specifically the inclined setback requirements.
- C. In accordance with the Zoning Ordinance, the maximum building height shall not exceed 65-feet measured 1-foot above the canal bank as determined by the City of Scottsdale's Flood Plain Administrator. (The top of the canal has an elevation of 1279.60 feet above sea level. The building shall not exceed a height of $1279.60 + 1 + 65.00 = 1345.60$. Building elements may exceed this height as permitted by the Zoning Ordinance.)

SITE DESIGN:**DRB Stipulations**

- 11. The applicant shall return to the Development Review Board for the approval of the canal bank improvements prior to the issuance of the building permits for all above grade architectural improvements, excluding the parking garage.
- 12. The proposed wall located in the northeast corner of the site, east of Building D, adjacent to the canal, as indicated on the landscape plan shall return to the Development Review Board for subsequent approval.
- 13. Phase Two shall return to the Development Review Board for approval.

Ordinance

- D. With the Development Review Board application for the canal bank, the applicant shall submit documentation of the Salt River Project's preliminary approval for these improvements.
- E. The developer shall obtain a Staff Approval, and final plans approval for a Land Division of the Phase One and Phase Two parcel(s) prior to the issuance of a building permit for the above grade architectural improvements, excluding the parking garage.
- F. The developer shall receive approval for the fountain features, as indicated on the site plan and landscape plan from the Water Resources Department, Conservation Division final plan approval. Any modifications required by the Water Resources Department that affect the exterior of the fountain's design as approved through Development Review Board process shall return for a subsequent development review approval as determined by the Zoning Administrator.
- G. The development shall not exceed the allowable floor area ratio, as determined by the Zoning Ordinance, for the Phase One parcel (based of the land division for this parcel). The maximum allowable Floor Area Ratio for Phase One shall not exceed $1.6 \text{ (allowable FAR and Bonus FAR)} * 211,266 \text{ square feet (land area of Phase One 4.85 acres} * 43,560 \text{ square feet)} = 338,025.6 \text{ square feet}$.
- H. In accordance with the Zoning Ordinance, the Gross Floor Area is taken to the exterior face of the building.
- I. The minimum parking provided for the residential units and commercial floor areas shall be accordance with the Zoning Ordinance.
- J. Standard parking and accessible parking stall designs shall comply with ordinance and related zoning interpretations.

OPEN SPACE:**Ordinance**

- K. The developer shall provide private open space for each residential unit in conformance with the Zoning Ordinance.

LANDSCAPE DESIGN:**DRB Stipulations**

14. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
15. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent finished and natural grades.
16. The applicant shall return for a subsequent development review approval as determined by the Zoning Administrator for a landscape plan for both sides of the drive aisle adjacent to the north property line from Phase I to Scottsdale Road.
17. The landscaping on both sides of the drive aisle adjacent to the north property line from Phase I to Scottsdale Road shall utilize plant material from the plant palette for the Phase I development.
18. The location of the mature trees shall be provided adjacent to the canal bank, areas visible from public rights-of-way, pedestrian facilities, and prominent site activity areas to the satisfaction of the Project Coordinator.
19. Plant densities shall be provided to accomplish the landscaping coverage as indicated on the landscape plan submitted for the Development Review Board approval
20. Soil depth over the parking garage shall be modified to accommodate mature trees and landscaping.
21. No trees shall be in public utility easements. Nor shall they be within seven feet of a water line or sewer line. A minimum of ten feet of separation is also required from existing / new transformer location.
22. The developer shall provide, 1 mature tree for every 300 square feet of provided landscaping. Mature trees shall be 4-inch caliper for single trunk trees; 2.5-inch average for multi-trunk forms; and 20-feet trunk height for palms.

Ordinance

- L. The maximum allowable water intensive landscaping shall comply with City Code.
- M. The maximum spacing between shrubs, trees and ground coverage limits shall not be below 7-feet in accordance with the Zoning Ordinance.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

23. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except sign lighting, parking canopy lighting, landscape lighting, porch and patio lighting, in grade up lighting, and decorative building accent lighting.
24. All lighting between the canal and the buildings parallel to the canal shall meet all IESNA requirements for full cutoff.
25. The individual luminaire lamp shall not exceed 250 watts.
26. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
27. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 10.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.

- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
- d. In grade up lighting shall utilize lamps that do not exceed 40 watts, and shall be utilized to only illuminate the walkways between buildings.

Canal Bank Path Lighting:

- e. The canal bank path lighting shall be illuminated to meet the City of Scottsdale's Parks and Recreation Department standards for uniformity and the IESNA Recommended Practices.
- f. The lighting fixture and poles utilized adjacent to the canal bank shall match the fixtures and poles utilized adjacent the canal bank south of the Waterfront development located at the southwest corner of Scottsdale Road and Camelback Road.

Building Mounted Lighting:

- g. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.
- h. Building mounted fixtures the do not meet IESNA requirements for full cutoff shall utilize lamps other than High Intensity Discharge (HID) lamps.

Landscape Lighting

- i. All landscape lighting directed upward shall be black and utilize the extension visor shields to limit the view of the lamp source.
- j. Landscaping lighting shall only be utilized to accent plant material.
- k. All landscape lighting directed upward, shall be aimed away from property line.
- l. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- m. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 28. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

Ordinance

- N. The number of bike parking racks shall be provided in accordance with the Zoning Ordinance.
- O. The location of the bike parking shall be located in accordance with the Zoning Ordinance.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 29. No exterior vending or display shall be allowed.
- 30. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 31. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- P. At the time of review, the applicable zoning subject site were: 38-ZN-1988, 65-Zn-1992#4, and 65-ZN-1994#5.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

32. Site Plan entitled, RIVERWALK SQUARE, submitted by Miller Hull Architecture and Planning and dated 05/18/05 by City staff.
33. Preliminary Drainage Report entitled, Riverwalk Square Preliminary Drainage Report, submitted by Tri-core Engineering. And dated 05/18/05 by City staff.
34. Sewer Basis of Design Report entitled, Sewer Basis of Design Report for Riverwalk Square, submitted by Tri-core Engineering. And dated 05/18/05 by City staff.
35. 65-ZN-1992#5 Zoning Case Stipulations.

CIVIL IMPROVEMENT PLAN REQUIREMENTS:

36. With the first phase improvements, the developer shall underground the utility lines adjacent to the Arizona Canal along the entire length of the project.
37. Prior to application to the Development Review Board, the developer shall secure preliminary approval from Salt River Project for the Arizona Canal Bank improvements.
38. Improvements to the Arizona Canal shall be subject to any agreement between the city and Salt River Project in effect at the time of Development Review Board application.
39. Prior to the issuance of any building permits for this project, the developer shall enter into an agreement with the City, in a form and substance acceptable to City staff, permanently imposing upon the developer and upon the project site all duties relating to or arising from ongoing operations, repair, maintenance, and renovation of canal bank improvements adjacent to the site.
40. With the first phase improvements, the developer shall replace the existing side channel system adjacent to the Arizona Canal bank with underground piping consistent with the accepted conceptual and final drainage plans and reports. This piping shall be subject to approval by the Maricopa County Flood Control District. Documentation of this approval shall be submitted with the submittal of improvement plans to project review.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

41. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
42. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
43. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:

- a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
- b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- Q. Stormwater Storage Requirement: Prior to the submittal of Final Construction Plans, the Developer shall submit Stormwater Storage Waiver Application:
 - a. The Request for Waiver shall include a supportive argument which demonstrates that historical flow through the site will be maintained, and that storm water runoff exiting this site has a safe place to flow.
 - b. The developer shall submit an estimate for payment in-lieu of on-site storm water storage. The amount of payment in-lieu is subject to approval by City staff .
 - I. Payment in-lieu of storm water storage shall be estimated as the equivalent cost to construct on-site storm water storage, including but not limited to excavation; hydraulic structures, storm drain pipe and ancillary costs; and the land value (using square footage) for that portion of the site no longer required for storm water storage.
 - II. Prior to the issuance of permits, payment in-lieu of storm water storage shall be paid. (In-lieu payments may be phased with the phasing of the project, subject to the approval of City staff.)
- R. FINAL DRAINAGE REPORT.
 - a. With the final improvement plans submittal to the Project Quality/Compliance Division, the developer shall submit a final drainage report and plan subject to city staff approval. The final drainage report and plan shall be in conformance with the Design Standards and Policies Manual - Section 2.1 – “*Drainage Policy, Downtown Scottsdale.*” In addition, the final drainage report and plan shall:
 - b. Provide final calculations and detailed analysis that demonstrate consistency with the accepted Conceptual Drainage Plan and Report.
 - c. Recommendations for new improvements necessary to protect against a 100-year design storm (with depth over roadway not to exceed 8 inches)
 - d. Recommendations for phasing of construction

Analysis of how any new improvements will interface with existing Corps of Engineer
- S. Underground Stormwater Storage:
 - (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
 - (2) Drywells are not permitted.
- T. CONNECTION TO MCFCD SYSTEM. Prior to approval of the final drainage report, the developer shall provide written permission from the Maricopa County Flood Control District to connect off-site storm drains to the side channel system, (including piped and open channel systems.)
- U. A “Conditional Letter of Map Amendment” from the Federal Emergency Management Association shall be required with the purpose of reclassifying this area out of existing “A” Firm Flood Hazard Zone Status prior to issuance of building permits. The developer shall contact the City's Flood Plain Administrator to discuss the application requirements for map amendment and map revisions. The site shall be removed from the FEMA “A” zone prior to the issuance of any building permit.
- V. Street Crossings:
 - (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:**Streets and other related improvements:****DRB Stipulations**

44. The developer shall obtain, provide and record perpetual cross access easements at the southern signalized project entry for shared ingress and egress of vehicular access from Scottsdale Road to the adjacent parcels to the south as determined by City staff through coordination with the property owner to the south. Said easements shall extend eastward a minimum of 140' from the west property line and shall be recorded prior to any Development Review Board application. Sidewalks or landscaping in the existing public driveway serving as the north access from Scottsdale Road to and from the parking lot on tract a shall be by encroachment permit. No encroachment permit will be issued until permanent easements are granted to the city for access between tract a and Scottsdale Road upon the proposed new relocated ingress and egress driveways to the north of the existing driveway.
45. ACCESS RESTRICTIONS. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall dedicate the necessary right-of-way, as determined by City staff, and construct the following access to the site. Access to the site from Scottsdale Road shall conform to the following restrictions (distances measured to the driveway or street centerlines):
 - a. There shall be a maximum of two site driveways from Scottsdale Road, located approximately at the existing northern and southern site driveways.
 - b. The existing central site driveway, located approximately 180 feet north of the signalized driveway, shall be removed and replaced with curb, gutter, and sidewalk to match the adjacent improvements and the proposed deceleration lane.
 - c. The northern site driveway shall be a right-in, right-out driveway only.
 - d. The southern driveway shall be positioned in such a way that it will align with the existing driveway entrance to the Fashion Square Mall on the west side of Scottsdale Road.
46. AUXILIARY LANE CONSTRUCTION. Before any certificate of occupancy is issued for the site, the developer, at its expense, shall construct right-turn deceleration lanes at both site entrances on Scottsdale Road, in conformance with the Design Standards and Policies Manual. If there is inadequate right-of-way to construct the deceleration lane at the southern driveway, before issuance of any certificate of occupancy for the project, the developer shall make an in-lieu payment for future construction, in an amount determined by City staff. If through future study it is determined by City staff that one or both of the deceleration lanes are not necessary, City staff shall have the ability to waive this requirement.
47. EASEMENT REQUIREMENTS. Before any final plan approval, the applicant shall maintain the existing curb-cuts to the office property located north of the applicant's property. The applicant shall also provide documentation of the existing easement on the office property located north of the applicant's property. The Transportation Department General Manager or equivalent shall approve any modifications to, relocation or removal of the curb cuts.
48. PEDESTRIAN CIRCULATION PLAN. With each phase of development submitted to the Development Review Board, the developer shall submit a pedestrian circulation plan for the site, which shall be subject to City staff approval. This plan shall indicate the location and width of all sidewalks and pedestrian pathways.
49. Before any certificate of occupancy is issued for the site, the developer shall construct a bus stop facility (landscaping, bench and trash can) on Scottsdale Road just north of the existing signalized driveway. The design and location of these facilities shall be subject to City staff approval (Transit Department 994-7696) before any final plan approval.
50. If a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance to Figure 8.1-1 of the City's Design Standards and Policies Manual.
51. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.

Ordinance

- W. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

TRAFFIC SIGNALS:**DRB Stipulations**

52. Poles and equipment necessary to upgrade the signal to current standards (including luminaires).

Ordinance

- X. The applicant shall be responsible for 100 percent of any design and construction costs, as determined by City staff, for the modification of the existing traffic signal at the intersection of the southern site driveway and Scottsdale Road to accommodate any driveway reconstruction
- Y. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

DRB Stipulations

53. The developer shall provide a minimum parking-aisle width of 24 feet.
54. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
55. The developer shall design the dead-end parking aisle in general conformance with the included detail.

Ordinance

- Z. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
1' VNAE	Along Scottsdale Rd. frontage except @ Driveway locations
20' W.L.E	To cover the location of the Public Water Lines

DRB Stipulations

56. Trail Easement:

- a. Prior to final plan approval, the developer shall dedicate a minimum 15-foot wide public trail easement. Before any certificate of occupancy is issued for the site, the developer shall construct a minimum 8-foot wide public trail within the easement. The trail shall be buffered from parking areas and from vehicles as much as possible. The applicant shall be responsible for coordinating the approved trail alignment with the City's Trail Coordinator. The alignment shall be determined prior to submission of final plans.
- b. The developer shall provide signage for all trails per Section 7.3 of the City's Design Standards & Policies Manual. The location and design of the signs and markers shall be shown on the final improvement plans to the satisfactions of Parks and Recreation staff. Sight Distance Easements:

57. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.

- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

58. Vehicular Non-Access Easement:

- a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Scottsdale Road except at the approved driveway location.

59. Well Site Dedication:

- a. Unless otherwise agreed to in writing by the Asset Management Coordinator, each tract or lot dedicated to the City shall be: (1) conveyed by a general warranty deed, and (2) accompanied by a title policy in favor of the City, both to the satisfaction of city staff as designated by the Asset Management Coordinator.

60. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

AA. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

BB. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

CC. Vista Corridor Easements:

- (1) All vista corridor easements, drainage easements and easements for stormwater storage shall be dedicated to the City as drainage and flood control easements, with maintenance the responsibility of the owner.

DD. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

REFUSE:

DRB Stipulations

61. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1,2(2 is grease containment) for single enclosures and #2147-1,2(2 is grease containment) for double enclosures.

62. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."

- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

63. If individual (80-gallon) refuse containers are not planned for the development, the site's trash enclosures shall be constructed to City of Scottsdale's Refuse Enclosure detail.

Ordinance

EE. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments and Condo's: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

FF. Underground vault-type containers are not allowed.

GG. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

HH. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

64. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the developer a site-specific addendum to the master report, subject to review and approval by City staff.

65. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:

- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:

DRB Stipulations

66. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

Ordinance

- II. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
 1. The developer will need to construct a 16-inch water line from the intersection of Highland and Scottsdale Road to connect to the existing 12-inch water line as it crosses under the canal. The City will participate in oversizing of this line from 12 to 16-inch.
 2. Basis of Design Reports for water shall be submitted to and accepted by the Water Resources Department prior to the submittal of improvement plans to the 1-Stop Shop.
 3. The developer shall contact Mr. Mike Mahoney in COS Water Resources (480-312-5686) regarding determination of water and sewer development fees.
 4. Water features, fountains, etc. was approval by COS Water Conservation (Karen Warner) (480-312-5659). Copy of the approval letter in the DR File.

WASTEWATER:**DRB Stipulations**

67. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
 - 1- Wastewater from this project will be directed to the relief sewer recently constructed to the east of the Arcadia development.
 - 2- Basis of Design Reports for wastewater shall be submitted to and accepted by the Water Resources Department prior to the submittal of improvement plans to the 1-Stop Shop.
68. On-site sanitary sewer shall be privately owned and maintained.
69. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

JJ. Privately owned sanitary sewer shall not run parallel within the waterline easement.

OIL AND GREASE INTERCEPTORS.

KK. Oil and grease interceptors shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

GREASE INTERCEPTORS.

LL. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

- a. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

CONSTRUCTION REQUIREMENTS**DRB Stipulations****OTHER REQUIREMENTS**

1. ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS. All construction activities that disturb five or more acres, or less than five acres if the site is a part of a greater common plan, shall obtain coverage under the National Pollutant Discharge Elimination System (NPDES) General Permit for Construction Activities. [NOI forms are available in the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100. Contact Region 9 of the U.S. Environmental Protection Agency at 415-744-1500, and the Arizona Department of Environmental Quality at 602-207-4574 or at web site <http://www.epa.gov/region>.]

The developer shall:

- a. Submit a completed Notice of Intent (NOI) to the EPA.
 - b. Submit a completed Storm Water Pollution Prevention Plan (SWPPP) to the EPA.
2. NOTICE OF INTENT (NOI). With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit a copy of the NOI.
 3. SECTION 404 PERMITS. With the improvement plan submittal to the Project Quality/Compliance Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]
 4. DUST CONTROL PERMITS. Before commencing grading on sites 1/10 acre or larger, the developer shall have obtained a Dust Control Permit (earth moving equipment permit) from Maricopa County Division of Air Pollution Control. Call the county 602-507-6727 for fees and application information.
 5. UTILITY CONFLICT COORDINATION. With the improvement plan submittal to the Project Quality/Compliance Division, the developer shall submit a signed No Conflict form (not required for city owned utilities) from every affected utility company.
 6. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS (ADEQ). The developer shall be responsible for conformance with ADEQ regulations and requirements for submittals, approvals, and notifications. The developer shall demonstrate compliance with Engineering Bulletin #10 Guidelines for the Construction of Water Systems, and Engineering Bulletin #11 Minimum Requirements for Design, Submission of Plans, and Specifications of Sewerage Works, published by the ADEQ. In addition:
 - a. Before approval of final improvement plans by the Project Quality/Compliance Division, the developer shall submit a cover sheet for the final improvement plans with a completed signature and date of approval from the Maricopa County Environmental Services Department (MCESD).
 - b. Before issuance of encroachment permits by city staff, the developer shall provide evidence to city staff that a Certificate of Approval to Construct Water and/or Wastewater Systems has been submitted to the MCESD. This evidence shall be on a document developed and date stamped by the MCESD staff.
 - c. Before commencing construction, the developer shall submit evidence to city staff that Notification of Starting Construction has been submitted to the MCESD. This evidence shall be on a document developed and date stamped by the MCESD staff.
 - d. Before acceptance of improvements by the city Inspection Services Division, the developer shall submit a Certificate of Approval of Construction signed by the MCESD and a copy of the As-Built drawings.

- e. Before issuance of Letters of Acceptance by the city Inspection Services Division, the developer shall:
 - I. Provide to the MCESD, As-Built drawings for the water and/or sanitary sewer lines and all related facilities, subject to approval by the MCESD staff, and to city staff, a copy of the approved As-Built drawings and/or a Certification of As-Built, as issued by the MCESD.
 - II. Provide to the MCESD a copy of the Engineers Certificate of Completion with all test results, analysis results, and calculations, as indicated on the form.
 - III. Provide to the MCESD a copy of the Request for Certificate of Approval of Construction of water and/or sanitary sewer lines with all appropriate quantities.
 - IV. Provide the city Inspection Services Division a copy of the Certificate of Approval of Construction, as issued by the MCESD.

VERIFICATION OF COMPLIANCE

1. **REQUIRED SPECIAL INSPECTONS.** Before the approval of the improvement plans, the Project Quality/Compliance Division staff shall specify those drainage facilities that shall be required to have Special Inspections. See Section 2.109 of the Design Standards and Policies Manual for more information on this process.
2. **CONDITION FOR ISSUANCE OF GRADING & DRAINAGE PERMIT.** Before the issuance of a Grading & Drainage Permit:
 - a. The developer shall certify that it has retained an Inspecting Engineer by completing Part I (Project Information) and Part II (Owner's Notification of Special Inspection) of the Certificate of Special Inspection of Drainage Facilities (CSIDF); and,
 - b. The Inspecting Engineer shall complete Part III (Certificate of Responsibility) of the CSIDF.
3. **CONDITION FOR ISSUANCE OF CERTIFICATE OF OCCUPANCY AND/OR LETTER OF ACCEPTANCE.** Before the issuance of a Certificate of Occupancy and/or a Letter of Acceptance:
 - a. The Inspecting Engineer shall complete the Certificate of Compliance form.
 - b. The developer shall submit all required Special Inspection Checklists and the completed Certificate of Compliance form to the Inspection Services Division. The Certificate of Compliance form shall be sealed, signed and dated by the Inspecting Engineer, and shall be attached to all required Special Inspection Checklists completed by the Inspecting Engineer.
4. **AS-BUILT PLANS.** City staff may at any time request the developer to submit As-built plans to the Inspection Services Division. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins and underground storm water storage tanks, bridges as determined by city staff.